

PARKING ANALYSIS

PROPOSED PARKING

51 SPACES PARKING
1 SPACES ACCESSIBLE PARKING
52 SPACES PROVIDED

BENCHMARK INFORMATION

TBM 1 N: 10223224.0319
E: 3576595.0046
ELEV: 319.40
TBM 1/2 IRS

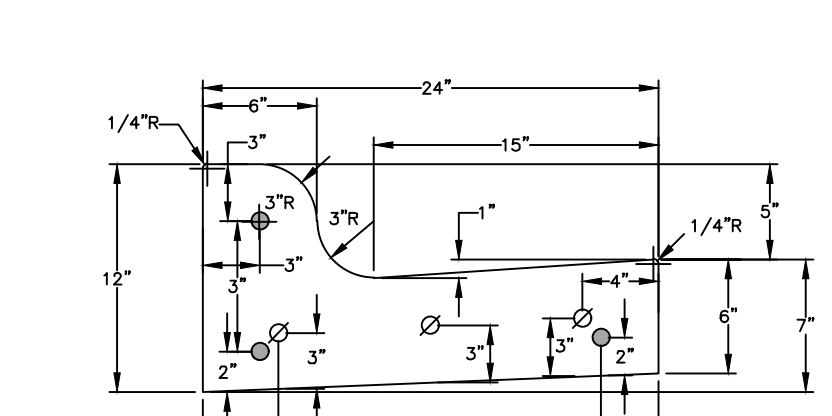
TBM 2 N: 10223666.8921
E: 3577024.8703
ELEV: 324.36
TBM CHISELED SOR IN SW

LEGEND

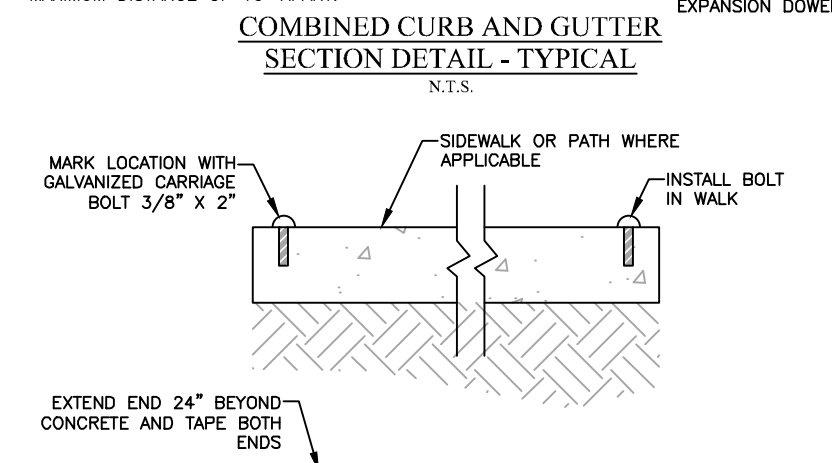
###	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	RIGHT OF WAY (ROW)
---	LOT LINE
---	PROPERTY SETBACK
---	PROPOSED PUBLIC UTILITY EASEMENT (PUE)
---	EXISTING PUBLIC UTILITY EASEMENT (PUE)
---	PROPOSED PUBLIC ACCESS EASEMENT (PAE)
---	EXISTING PUBLIC ACCESS EASEMENT (PAE)
---	EXISTING PRIVATE DRAINAGE EASEMENT (PDE)
---	LIMITS OF DISTURBANCE
---	FIRE LANE
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	FLOW ARROWS
---	STORM PIPE
---	EXISTING STORM PIPE
---	PROPOSED WATERLINE, SIZE NOTED
---	EXISTING WATERLINE, SIZE NOTED
---	PROPOSED SANITARY SEWER LINE, SIZE NOTED
---	EXISTING SANITARY SEWER SERVICE, SIZE NOTED
---	GAS
---	EXISTING GAS LINE, SIZE NOTED
---	PROPOSED UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING OVERHEAD ELECTRIC LINE

- SITE SPECIFIC NOTES:**
- THE OWNER OF THE PROPERTY IS 1983 LAND INVESTMENTS, LLC. THE SUBJECT PROPERTY IS YAUPON TRAILS SUBDIVISION, BLOCK 1, LOTS 1-19, BLOCK 2, LOTS 1-32, BLOCK 3, LOTS 1-24 AND COMMON AREAS. PROPERTY IS ZONED PLANNED DEVELOPMENT DISTRICT - MULTI USE (PD-M).
 - THE TOTAL DISTURBED AREA FOR THIS PROJECT IS 0.391 ACRES (17050.956 SF).
 - THE SUBJECT TRACT DOES NOT LIE WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS FOR BRAZOS COUNTY, TEXAS AND INCORPORATED AREAS. COMMUNITY NO. 480063, PANEL NO. 02207, MAP NO. 48041D02207, EFFECTIVE DATE: 04/02/2014.
 - PARKING LOT STRIPING OTHER THAN FIRE LANE STRIPING SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES, ITEM 666, TYPE 2 MARKING MATERIALS.
 - CONTOURS SHOWN ARE FROM FIELD SURVEY DATA.
 - THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF THE PRIVATE DRAINAGE AND ACCESS EASEMENTS WILL BE BY THE LOT OWNER OR PROPERTY OWNER ASSOCIATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE CONTAINMENT FOR WAISTE, PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. SOLID WASTE ROLL-OFF BOXES/METAL DUMPSTERS SHALL BE SUPPLIED BY THE CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
 - NORMAL DOMESTIC WASTEWATER IS ANTICIPATED TO BE DISCHARGED FROM THIS DEVELOPMENT.
 - ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE.
 - THE IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR A PRESSURE VACUUM BREAKER OR REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE AND INSTALLED AS PER CITY ORDINANCE.
 - 8" CONCRETE PAVEMENT TO BE PROVIDED FOR DUMPSTER LOCATIONS PER CITY OF BRYAN SPECIFICATIONS. DUMPSTER CONTAINMENT AREAS SHALL BE REINFORCED WITH #5 BARS AT 12" OCEW AND THE PAD SHALL EXTEND AN ADDITIONAL 10' IN FRONT OF CONTAINMENT AREA.
 - ALL DEVICES, APPLIANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY.

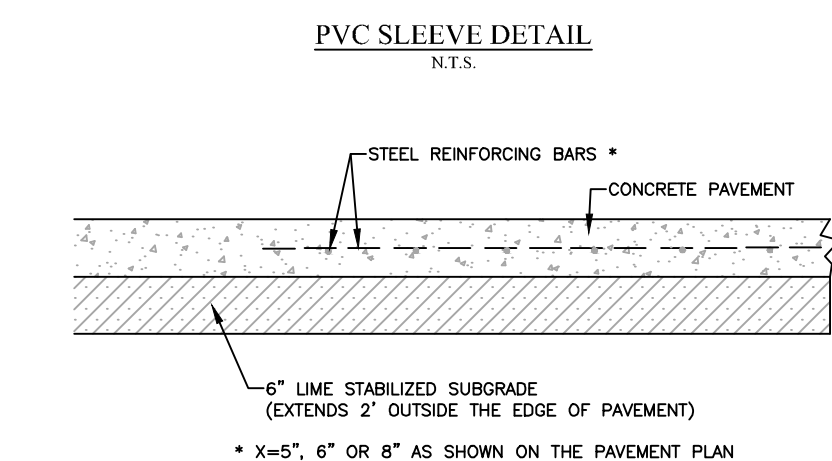
- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF BRYAN/COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR (WATER, SEWER, STREETS, DRAINAGE). ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
 - ALL UTILITY LINES (WATER, GAS, SANITARY SEWER, STORM SEWER, ETC.) SHOWN ARE TAKEN FROM BEST AVAILABLE RECORD INFORMATION BASED ON CONSTRUCTION UTILITY MAP DOCUMENTS OBTAINED FROM CITY & INDEPENDENT AGENCIES AND/OR ABOVE GROUND FIELD EVIDENCE. SHOWN POSITIONS MAY NOT REPRESENT AS-BUILT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. NOTIFICATION OF THE UTILITY COMPANIES 48 HOURS IN ADVANCE OF CONSTRUCTION IS REQUIRED.
DIG TESS: (800) 344-8377
ATMOS ENERGY: (979) 774-2506
SUGDEN LINE COMMUNICATIONS: (979) 558-2429
FRONTIER COMMUNICATIONS: (979) 821-4783
WATER/SEWER CITY OF BRYAN: (979) 209-5900
BTU: (979) 821-5700
CITY OF BRYAN: (979) 209-5900
 - THE CONTRACTOR SHALL SETUP A FIRE-CONSTRUCTION MEETING WITH BTU PRIOR TO THE START OF ELECTRICAL INFRASTRUCTURE CONSTRUCTION.
 - THE CONSTRUCTION SHALL COMPLY WITH OSHA STANDARD 29 CFR PART 1926 SUBPART P FOR TRENCH SAFETY REQUIREMENTS.
 - BUILDING SETBACK SHALL BE IN ACCORDANCE WITH THE CITY OF BRYAN CODE OF ORDINANCES.
 - PROPOSED SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH THE SIGN ORDINANCE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO USE WHATEVER MEANS NECESSARY TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. THIS INCLUDES THE INSTALLATION OF A CONSTRUCTION EXIT AND SILT FENCE AS NECESSARY.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN THE TPES GENERAL PERMIT NO. TXR 150000 REQUIREMENTS FOR CONSTRUCTION SITES.
 - ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN DISTURBED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SOOLED OR HYDROMULCHED, AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOO SHALL BE REQUIRED. BARE AREAS SHALL BE SEEDED OR SOODED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.
 - DRAINAGE INFORMATION AND DETAILS WILL BE PROVIDED ON THE DRAINAGE PLAN AND DRAINAGE REPORT.
 - LANDSCAPING AND IRRIGATION DESIGN & ANALYSIS WILL BE PROVIDED ON THE LANDSCAPE & IRRIGATION PLANS. THE IRRIGATION SYSTEM MUST BE APPROVED AND INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY.
 - ALL RADII AND DISTANCES ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT SHALL BE PER TYPICAL PAVEMENT SECTION. REFER TO PAVEMENT PLAN FOR PAVEMENT DETAILS.
 - THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THESE PLANS, DRAWINGS AND SPECIFICATIONS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES NEAR ENERGIZED OVERHEAD POWER LINES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE CROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, GRIEVED, OR DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER. THIS MATERIAL AND WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
 - A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS, RECORDING AS-BUILT CONDITIONS DURING CONSTRUCTION.
 - ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO THEIR EXISTING CONDITION OR BETTER.
 - THE CONTRACTOR SHALL NOT CREATE A DIRT NUISANCE OR SAFETY HAZARD IN ANY STREET OR DRIVEWAY.
 - ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - THE IRRIGATION SYSTEM WILL BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE. AN INSTALLED AS PER CITY ORDINANCE 2394.
 - ALL BACK FLOW DEVICES WILL BE INSTALLED AND TESTED UPON INSTALLATION.
 - THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THESE PLANS FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED, BY SCHULTZ ENGINEERING, LLC (SE), FOR THIS PROJECT IS CONSIDERED BY SE TO BE CONFIDENTIAL. WHEN ISSUED, IT'S USE IS RESTRICTED SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR MANNER. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED "AS IS" WITHOUT ANY WARRANTY AS TO IT PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGHOUT ITS USE. THE RECIPIENT ALSO UNDERSTANDS AND AGREES THAT UPON RELEASE OF SUCH DATA, IS NO LONGER RESPONSIBLE FOR THEIR USE OR MODIFICATION. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
 - WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELocate, CONTROl, REPAIR, ADD TO, MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE, AND REPLACE SAID FACILITIES UPON, OVER, UNDER, AND ACROSS THE PROPERTY, INCLUDING THE PUE, AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRICAL FACILITIES.



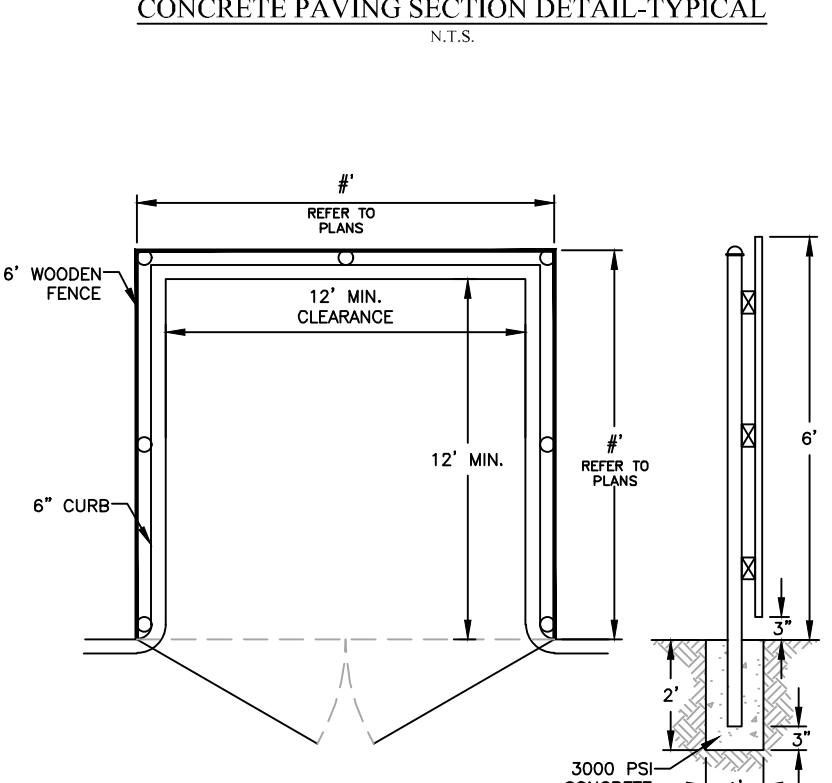
COMBINED CURB AND GUTTER SECTION DETAIL - TYPICAL



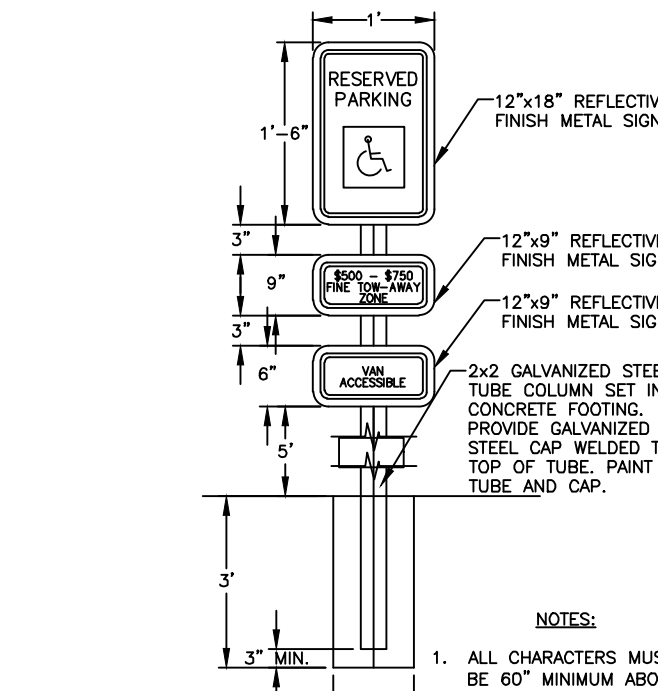
PVC SLEEVE DETAIL



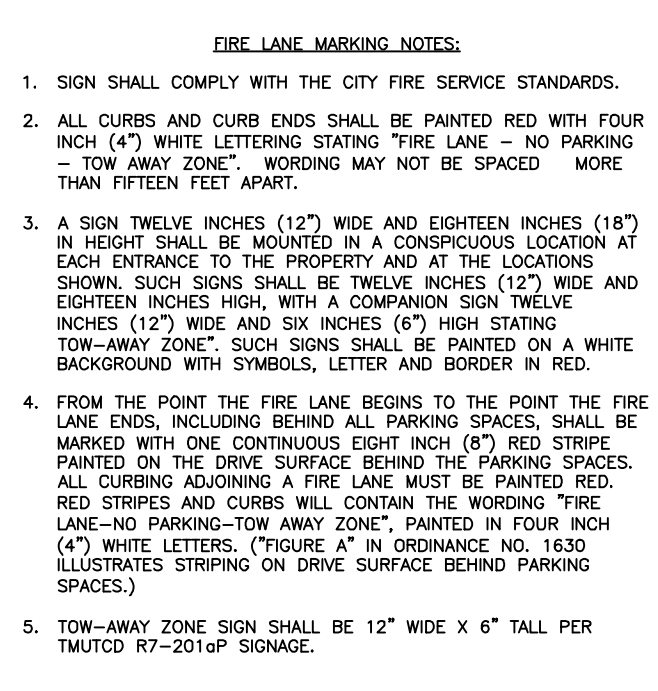
CONCRETE PAVING SECTION DETAIL-TYPICAL



DUMPSTER ENCLOSURE DETAIL-SINGLE

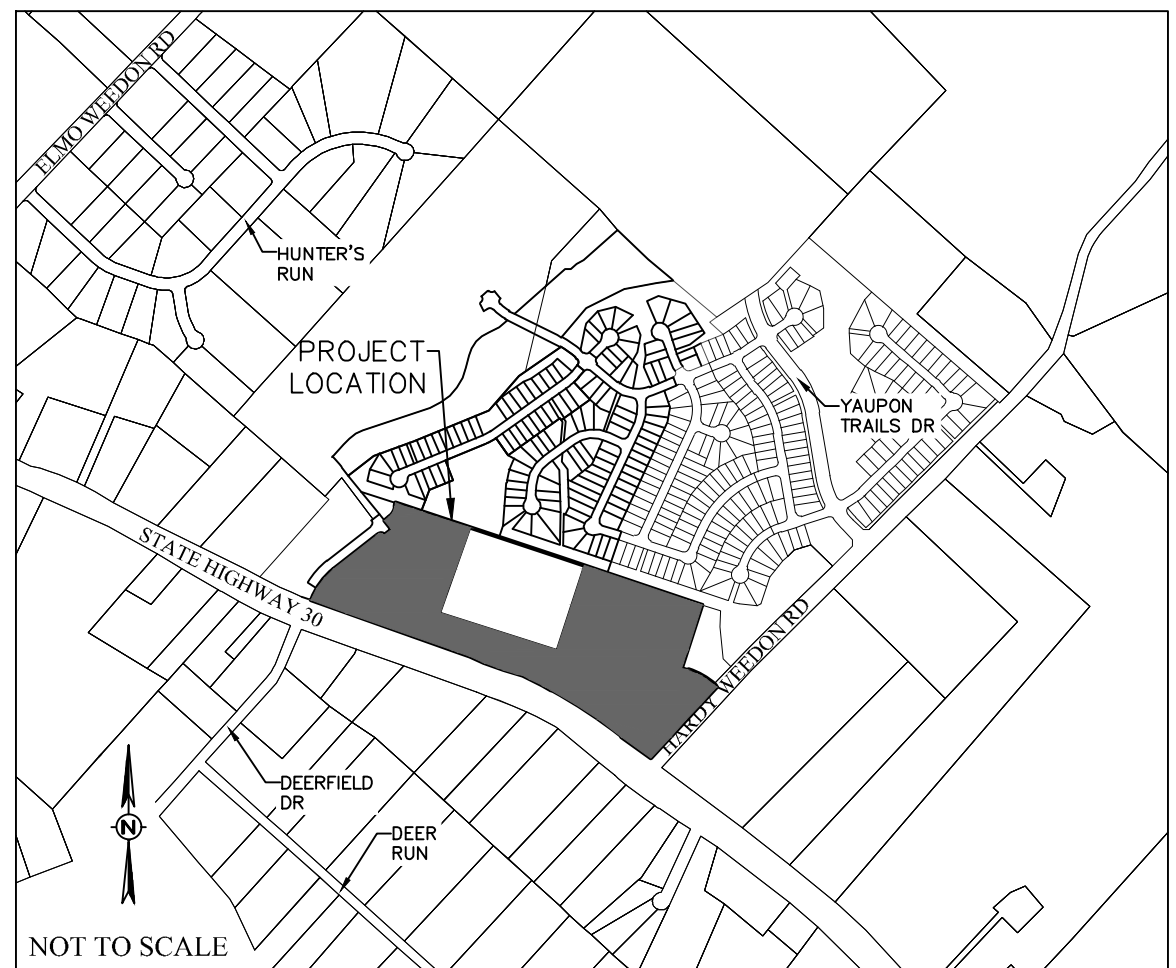


ADA SIGN DETAIL



FIRE LANE STRIPING AND SIGNAGE DETAIL

VICINITY MAP



**ADDITIONAL PARKING AND DUMPSTERS
4509 HARDY WEEDON ROAD**

TOTAL DISTURBED AREA = 0.391 ACRES
YAUPON TRAILS SUBDIVISION PH. 8B
BLOCK 1, LOTS 1-19, BLOCK 2, LOTS 1-32
BLOCK 3, LOTS 1-24 AND COMMON AREAS
MARIA KEAGNS SURVEY LEAGUE, A - 28
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=60'
NOVEMBER 2024
OWNER/DEVELOPER:
1983 LAND INVESTMENTS, LLC
4090 S.H. 6 SOUTH
COLLEGE STATION, TX
(979) 690-1222

SURVEYOR:
BRAD KERR, RPLS NO. 4502
KERR SURVEYING, LLC
409 N. TEXAS AVENUE
BRYAN, TX 77803
(979) 268-3195

ENGINEER:
SCHULTZ ENGINEERING, LLC.
PO BOX 11995
COLLEGE STATION, TX 77842
(979)764-3900

MARK	REVISION	BY	DATE
			2022-11-08

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	23-108	NOVEMBER 2024

THIS DOCUMENT IS RELEASED FOR PRELIMINARY REVIEW ONLY. IT IS NOT TO BE USED FOR BIDDING OR CONSTRUCTION PURPOSES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DEVEN L. DOYEN, P.E., LICENSE NO. 109835 NOVEMBER 25, 2024

ISSUED FOR REVIEW

**YAUPON TRAILS SUBDIVISION
PHASE 8B
BRYAN, TX**

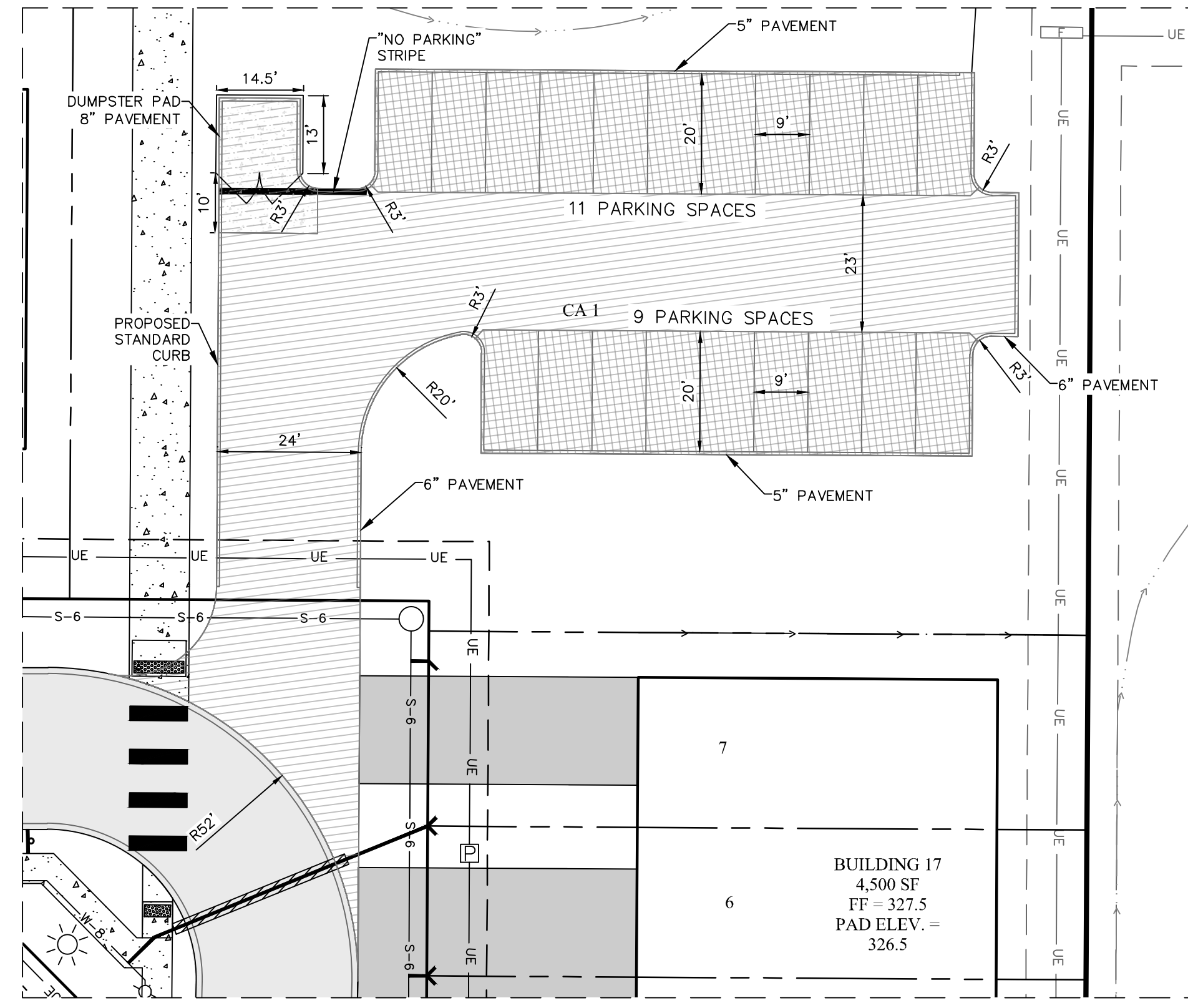
SITE PLAN

SCALE
VERTICAL: N/A
HORIZONTAL: 1"=60'
PLOTING SCALE: 1:1
FILE NAME: 23-108

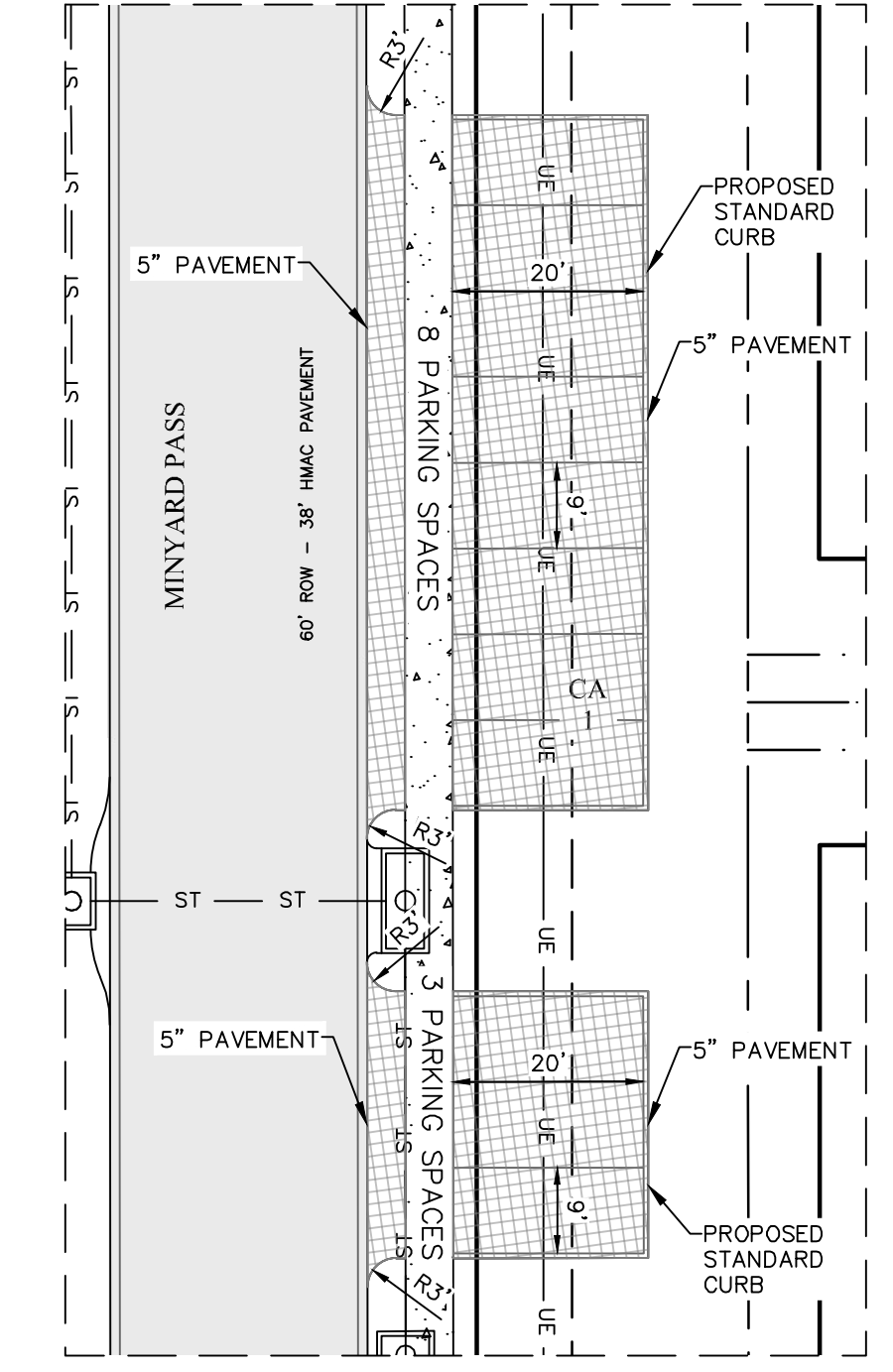
**SHEET
C1**

LEGEND

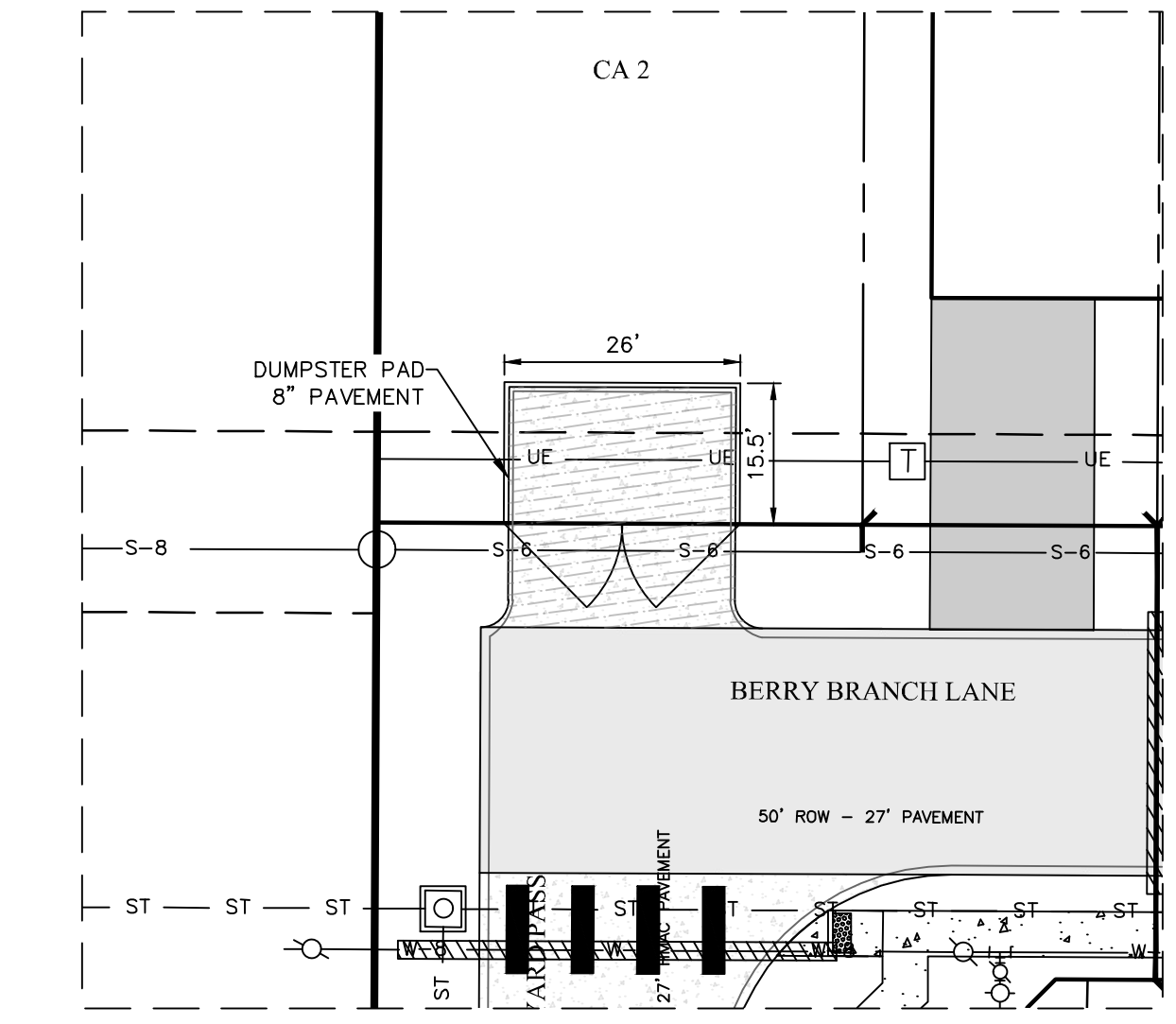
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	RIGHT OF WAY
	LOT LINE
	PROPOSED PUBLIC UTILITY EASEMENT
	EXISTING PUBLIC UTILITY EASEMENT
	PROPOSED PUBLIC ACCESS EASEMENT
	EXISTING PUBLIC ACCESS EASEMENT
	EXISTING PRIVATE DRAINAGE EASEMENT
	FIRE LANE
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	STORM PIPE
	EXISTING STORM PIPE
	PROPOSED WATERLINE, SIZE NOTED
	EXISTING WATERLINE, SIZE NOTED
	PROPOSED SANITARY SEWER LINE, SIZE NOTED
	EXISTING SANITARY SEWER LINE, SIZE NOTED
	PROPOSED GAS LINE, SIZE NOTED
	EXISTING GAS LINE, SIZE NOTED
	PROPOSED UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	PAVEMENT JOINTS
	SIDEWALK JOINTS
	5" CONCRETE PAVEMENT
	6" CONCRETE PAVEMENT
	8" CONCRETE PAVEMENT



INSET "A"
1" = 20'



INSET "B"
1" = 20'



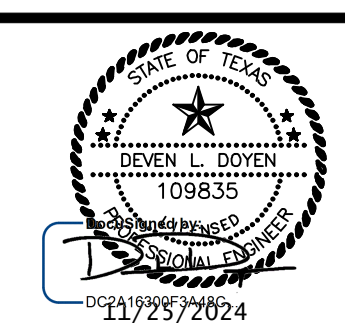
INSET "C"
1" = 20'



911 Southwest Pkwy E.
College Station, Texas 77840
979.764.3900
TBPE FIRM NO. 12327

THIS DOCUMENT IS RELEASED FOR PRELIMINARY REVIEW ONLY. IT IS NOT TO BE USED FOR BIDDING OR CONSTRUCTION PURPOSES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DEVEN L. DOYEN, P.E., LICENSE NO. 109835 NOVEMBER 25, 2024
ISSUED FOR REVIEW



YAUPON TRAILS SUBDIVISION
PHASE 8B
BRYAN, TX

SITE PLAN
INSETS

SCALE	
VERTICAL	N/A
HORIZONTAL	1"=20'
PLOTTING SCALE:	1:1
FILE NAME:	23-108

SHEET
C2

MARK	REVISION	BY	DATE

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	23-108	NOVEMBER 2024